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| PER No.: | 18-037 |
| Tenant: | Goodrich Terminals |
| Project: | Lumber Transload Facility and Rail Spur |
| Project Location: | 10880 Dyke Road, Surrey |
| VFPA SID No.: | SUR330 |
| Land Use Designation: | Industrial |
| Permit Holder(s): | Goodrich Terminals |
| Category of Review: | C |
| Date of Approval: | JUNE 4, 2020 |
| Date of Expiry: | JUNE 30, 2022 |

PROJECT DESCRIPTION

For the purposes of this project permit, (the Permit), the project is understood to include the following works on Vancouver Fraser Port Authority (VFPA) property:

- Vegetation removal of an area with approx. footprint of 14,000 m² (150,700 ft²)
- Grading and paving of unpaved areas with an approx. footprint of 26,000m² (280,000 ft²)
- Repaving and patching in areas of the site that are already paved
- Installation of dust collector equipment approximately 18m (60 ft) in height from grade
- Installation of stormwater collection systems including oil-water separators, bioswale, and two outfalls to the Fraser River
- Installation of a rail spur, approximately 354m (1,161 ft) in length

PROJECT AND ENVIRONMENTAL CONDITIONS

The Vancouver Fraser Port Authority (VFPA) has undertaken and completed a review of the Project in accordance with the *Canada Marine Act* and Section 5 of the Port Authorities Operations Regulations and, as applicable, Section 67 of the *Canadian Environmental Assessment Act, 2012*.

If at any time the Permit Holder fails to comply with any of the project and environmental conditions set out in the Permit below, or if VFPA determines that the Permit Holder has provided any incomplete, incorrect or misleading information in relation to the Project, VFPA may, in its sole and absolute discretion, cancel its authorization for the Project or change the project and environmental conditions to which such authorization is subject.

Pursuant to Section 29 of the Port Authorities Operations Regulations, VFPA may also cancel its authorization for the Project, or change the project and environmental conditions to which such authorization is subject, if new information is made available to VFPA at any time in relation to the potential adverse environmental and other effects of the Project.

The following are the project and environmental conditions that must be followed by the Permit Holder to mitigate potential or foreseeable adverse environmental and other effects.

All VFPA Guidelines and Record Drawing Standards referenced in this document can be located at: <https://www.portvancouver.com/development-and-permits/project-and-environmental-reviews/technical-guidelines/>.

| No. | GENERAL CONDITIONS |
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| 1. | The Permit Holder must have a valid lease, licence, or access agreement for the Project site prior to accessing the Project site or commencing construction or any other physical activities on the Project site. This Permit shall in no way limit any of the Permit Holder's obligations, or VFPA's rights, under such lease, licence, or access agreement. |
| 2. | The Permit Holder shall at all times and in all respects, comply with and abide by all applicable statutes, laws, regulations and orders from time to time in force and effect, including all applicable environmental, labour and safety laws and regulations. |
| 3. | This Permit in no way endorses or warrants the design, engineering, or construction of the Project and no person may rely upon this Permit for any purpose other than the fact that VFPA has permitted the construction of the Project, in accordance with the terms and conditions of this Permit. |
| 4. | The Permit Holder shall indemnify and save harmless VFPA in respect of all claims, losses, costs, fines, penalties or other liabilities, including legal fees, arising out of: (a) any bodily injury or death, property damage or any loss or damage arising out of or in any way connected with the Project; and (b) any breach by the Permit Holder of its obligations under this Permit. |
| 5. | The Permit Holder is responsible for locating all existing site services and utilities including any located underground. The Permit Holder is responsible for repair or replacement of any damage to existing site services and utilities, to the satisfaction of VFPA, that result from construction and operation of the Project. |
| 6. | The Permit Holder shall undertake and deliver the Project to total completion in a professional, timely and diligent manner in accordance with applicable standards and specifications set out in the sections above entitled Project Description and Information Sources, including the attached plans and drawings numbered PER No. 18-037-A to H . The Permit Holder shall not carry out any other physical activities unless expressly authorized by VFPA. |
| 7. | The Permit Holder shall cooperate fully with VFPA in respect of any review by VFPA of the Permit Holder's compliance with this Permit, including providing information and documentation in a timely manner, as required by VFPA. The Permit Holder is solely responsible for demonstrating the Permit Holder's compliance with this Permit. |
| 8. | The Permit Holder shall review the Permit with all employees, agents, contractors, licensees and invitees working on the Project site, prior to such parties participating in any construction or other physical activities on the Project site. The Permit Holder shall be solely responsible for ensuring that all such employees, agents, contractors, licensees and invitees comply with this Permit. |
| 9. | The Permit Holder shall make available upon request by any regulatory authority (such as a Fishery Officer) a copy of this Permit. |
| 10. | Unless otherwise specified, the Permit Holder shall provide all plans, documents, and notices required under this Permit to the following email address: per@portvancouver.com and referencing PER No.18-037 . |
| 11. | Unless otherwise specified, all plans, schedules, and other Project-related documentation that the Permit Holder is required to provide under this Permit, and any subsequent updates, must be to VFPA's satisfaction. |
| 12. | <p>The Permit Holder shall prepare and submit a self-report form to VFPA demonstrating compliance with conditions at each of the following project phases:</p> <ul style="list-style-type: none"> a) Prior to construction Conditions (self-report shall be submitted a minimum of 15 business days prior to the commencement of construction, or any physical activities, to a maximum of 90 business days prior to construction, or any physical activities) b) Construction Conditions (self-report shall be submitted a minimum of 60 business days (or a maximum of 80 business days) after construction has commenced, and every 120 to 140 |

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| | business days after submission of the initial self-report during construction (i.e. after the first three months of construction, then every six months thereafter) c) Conditions Upon Project Completion (self-report shall be submitted within 60 business days of completion of construction) | |
| 13. | VFPA shall have unfettered access to environmental compliance documentation and the Project site at all times during construction without notice. | |
| 14. | The Permit Holder must maintain and retain any records associated with, or produced by, actions or activities undertaken to achieve compliance or that indicate non-compliance with project permit conditions. These records must be made available at the request of VFPA. | |
| 15. | All conditions in this Permit which expressly or by their nature survive expiration or termination of this Permit will remain in effect after the expiration or termination of this Permit. | |
| | CONDITIONS - PRIOR TO COMMENCING CONSTRUCTION OR ANY PHYSICAL ACTIVITIES | SUBMISSION TIMING (business days) |
| 16. | The Permit Holder shall submit signed and sealed drawings for proposed works approved for construction by a professional engineer licensed to practice in the Province of British Columbia. The Permit Holder shall include confirmation that rail design drawings have been reviewed and approved by CN Rail Engineering. | 5 business days before commencing construction or any physical activities |
| 17. | The Permit Holder shall provide a draft construction notice to VFPA's satisfaction in accordance with VFPA's Public Consultation Guidelines. | 20 business days before commencing construction or any physical activities |
| 18. | The Permit Holder shall distribute construction notice to residents and businesses to an area. This shall be completed to VFPA's satisfaction. The Permit Holder shall notify VFPA when such distribution has been completed. | 10 business days before commencing construction or any physical activities |
| 19. | The Permit Holder shall submit a construction parking and traffic management plan to VFPA's satisfaction. The Permit Holder shall carry out the Project in accordance with the construction parking and traffic management plan, and any updates made to VFPA's satisfaction. | 20 business days before commencing construction or any physical activities |
| 20. | The Permit Holder shall submit an Archaeological Chance Find Procedure for the Project site, to VFPA's satisfaction. The Permit Holder shall carry out the Project in accordance with this Procedure, and any subsequent updates made to VFPA's satisfaction. | 30 business days before commencing construction or any physical activities |
| 21. | For structures and proposed interior changes to structures that are reviewable under the National Building Code and National Fire Code, the Permit Holder shall apply for a VFPA Building Permit. | 40 days before commencing construction or any physical activities that are reviewable under the National Building Code and National Fire Code |
| 22. | The Permit Holder shall provide a Project schedule to VFPA showing the anticipated start dates for all major phases of the Project as identified by VFPA. | 20 business days before commencing |

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| | The Permit Holder shall notify VFPA of any material changes to the Project schedule and, upon request, shall provide an updated Project schedule. | construction or any physical activities |
| 23. | The Permit Holder shall notify VFPA Environmental Programs, email: EnvironmentalPrograms@portvancouver.com. | 2 business days before commencing construction or any physical activities, |
| 24. | If there is potential to affect birds and/or their active nests and eggs, the Permit Holder shall conduct nest surveys. For any nests identified in surveys, a qualified environmental professional shall confirm that the nest is not occupied by a species protected at that time of year under applicable legislation. To reduce the risk of Project-related harm, the Permit Holder should avoid certain physical activities during the general bird breeding season, which falls between April 1 and July 31, or outside of this time span if occupied nests are present. | Immediately prior to activities with the potential to affect birds and/or their active nests and eggs. |
| 25. | The Permit Holder shall provide a vegetation mitigation plan to VFPA's satisfaction. The vegetation mitigation plan shall include the location of replanting, the species of plants to be protected, and a schedule for post-planting assessments. | 20 business days before commencing construction or any physical activities |
| CONDITIONS - DURING CONSTRUCTION OR ANY PHYSICAL ACTIVITIES | | |
| 26. | The Permit Holder shall notify VFPA upon commencement of construction, or any physical activities (e.g., mobilization to the Project site). | |
| 27. | All general construction and physical activities related to the Project shall be conducted from Monday to Saturday between the hours of 7:00 am and 8:00 pm . No construction and physical activities shall take place on Sundays or holidays. These hours shall not be modified without prior approval of VFPA. To request permission to conduct activities outside these hours, the Permit Holder must submit a written request no less than 30 business days prior to the desired start date. | |
| 28. | The Permit Holder shall notify VFPA of any complaints received from the community and stakeholders during construction and indicate how the Permit Holder has responded to such complaints. | |
| 29. | The Permit Holder shall remove all abandoned utilities from the project site, both underground and aboveground. At locations of connection to municipal work (i.e., at property lines), the abandoned utilities shall be capped. | |
| 30. | If the Permit Holder encounters, expects to encounter, or should expect to encounter an actual or potential archaeological resource, the Permit Holder shall: <ul style="list-style-type: none"> a) Immediately stop any activities that may disturb the archaeological resource or the site in which it is contained (Site); b) Not move or otherwise disturb the archaeological resource or other remains present at the Site; c) Stake or flag the Site to prevent additional disturbances; and, d) Immediately notify VFPA by email and phone. | |
| 31. | The Permit Holder may place temporary construction trailers on the Project site while this Permit remains in effect, provided that the Permit Holder does not connect such trailers to any underground utilities without the prior written consent of VFPA which may require, at VFPA's discretion, a VFPA Building Permit. | |
| 32. | The Permit Holder shall carry out the Project in accordance with the construction environmental management plan provided by the Permit Holder, and any subsequent updates made to VFPA's satisfaction. | |

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| 33. | The Permit Holder, or their contractor, shall engage a qualified environmental professional to monitor the Project in order to ensure that the works are carried out in compliance with this Permit. Monitoring events shall take place as required by the environmental monitor, the Construction Environmental Management Plan, or VFPA, provided that monitoring will be full time when works are underway that have the potential to adversely affect fish or fish habitat. | |
| 34. | The Permit Holder shall provide environmental monitoring reports to VFPA as specified in the Construction Environmental Management Plan or more frequently if VFPA requires. In addition, a summary report for the whole monitoring period shall be forwarded to VFPA within 30 days of the conclusion of the monitoring period. | |
| 35. | The Permit Holder shall repair and/or remediate any damage or erosion resulting from disturbance to the intertidal foreshore during the Project. | |
| 36. | The Permit Holder shall immediately notify Metro Vancouver of any actual or potential damage to Metro Vancouver infrastructure (including pipelines and outfalls) at: 604-985-1478. | |
| 37. | The Permit Holder shall not dewater excavations unless a dewatering plan has been reviewed and accepted by VFPA. | |
| 38. | Without limiting the generality of permit condition #2, materials brought onto the project site to be used for backfilling, site preparation, or other uses shall be from sources demonstrated to be clean and free of environmental contamination, invasive species and noxious weeds. The Permit Holder shall maintain records to verify this. | |
| 39. | Without limiting the generality of permit condition #2, the Permit Holder shall not, directly or indirectly: (a) deposit or permit the deposit of a deleterious substance of any type in water frequented by fish in a manner contrary to Section 36(3) of the <i>Fisheries Act</i> ; or (b) adversely affect fish or fish habitat in a manner contrary to Section 35(1) of the <i>Fisheries Act</i> . | |
| 40. | The Permit Holder shall carry out the Project in accordance with the stormwater pollution prevention plan provided by the Permit Holder, and any subsequent updates made to VFPA's satisfaction. | |
| CONDITIONS - UPON COMPLETION | | |
| | SUBMISSION TIMING (Business Days) | |
| 41. | The Permit Holder shall notify VFPA upon completion of the Project. | Upon substantial completion |
| 42. | The Permit Holder shall provide record drawings in accordance with VFPA's Record Drawing Standards, in both AutoCAD and Adobe (PDF) format to VFPA, including a Project site plan that clearly identifies the location of works. | Within 40 business days of completion |
| VFPA reserves the right to rescind or revise these conditions at any time that new information warranting this action is made available to VFPA. | | |
| LENGTH OF PERMIT VALIDITY | | |
| The Project must be completed no later than June 30, 2022 (the Expiry Date). | | |
| AMENDMENTS | | |

- Details of any material proposed changes to the Project, including days and hours when construction and any physical activities will be conducted, must be submitted to VFPA for consideration of an amendment to this Permit.
- For an extension to the Expiry Date, the Permit Holder must apply in writing to VFPA no later than 40 days prior to that date.

Failure to apply for an extension as required may, at the sole discretion of VFPA, result in termination of this Permit.

PROJECT AND ENVIRONMENTAL REVIEW DECISION

Project Permit PER No. 18-037 is approved by:

ORIGINAL COPY SIGNED

GREG YEOMANS
DIRECTOR, PLANNING & DEVELOPMENT

June 4, 2020

DATE OF APPROVAL

CONTACT INFORMATION

Vancouver Fraser Port Authority (VFPA)
100 The Pointe, 999 Canada Place,
Vancouver BC V6C 3T4 Canada

Project & Environmental Review
Tel.: 604-665-9047
Fax: 1-866-284-4271
Email: PER@portvancouver.com
Website: www.portvancouver.com



After normal business hours:

In the event of any land or marine construction incidents or concerns related to works carried out on-site under this permit, please contact the 24/7 Port Operations Centre 604-665-9086. In the event of an emergency requiring 'First Responders', please call 911 first.

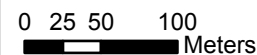
PER #18-037

**Goodrich Terminals -
Lumber Transload
Facility and Railspur**



-  Project Location
-  VFPA Boundary

Vancouver Fraser Port Authority:
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Date: April 03, 2020



Pacific Land Resource Group Inc.

Suite 212 - 12992 76 Avenue
Surrey, British Columbia
Canada V3W 2V6

Tel: 604-501-1624
Fax: 604-501-1625

www.pacificlandgroup.ca
info@pacificlandgroup.ca

PROJECT:

**10880 Dyke Road,
Surrey**

DRAWING TITLE:

Site Plan

VANCOUVER FRASER PORT AUTHORITY
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PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES

CLIENT:

Goodrich Group

SCALE:

NTS

DATE:

November 19, 2019

PROJECT No:

18-1756

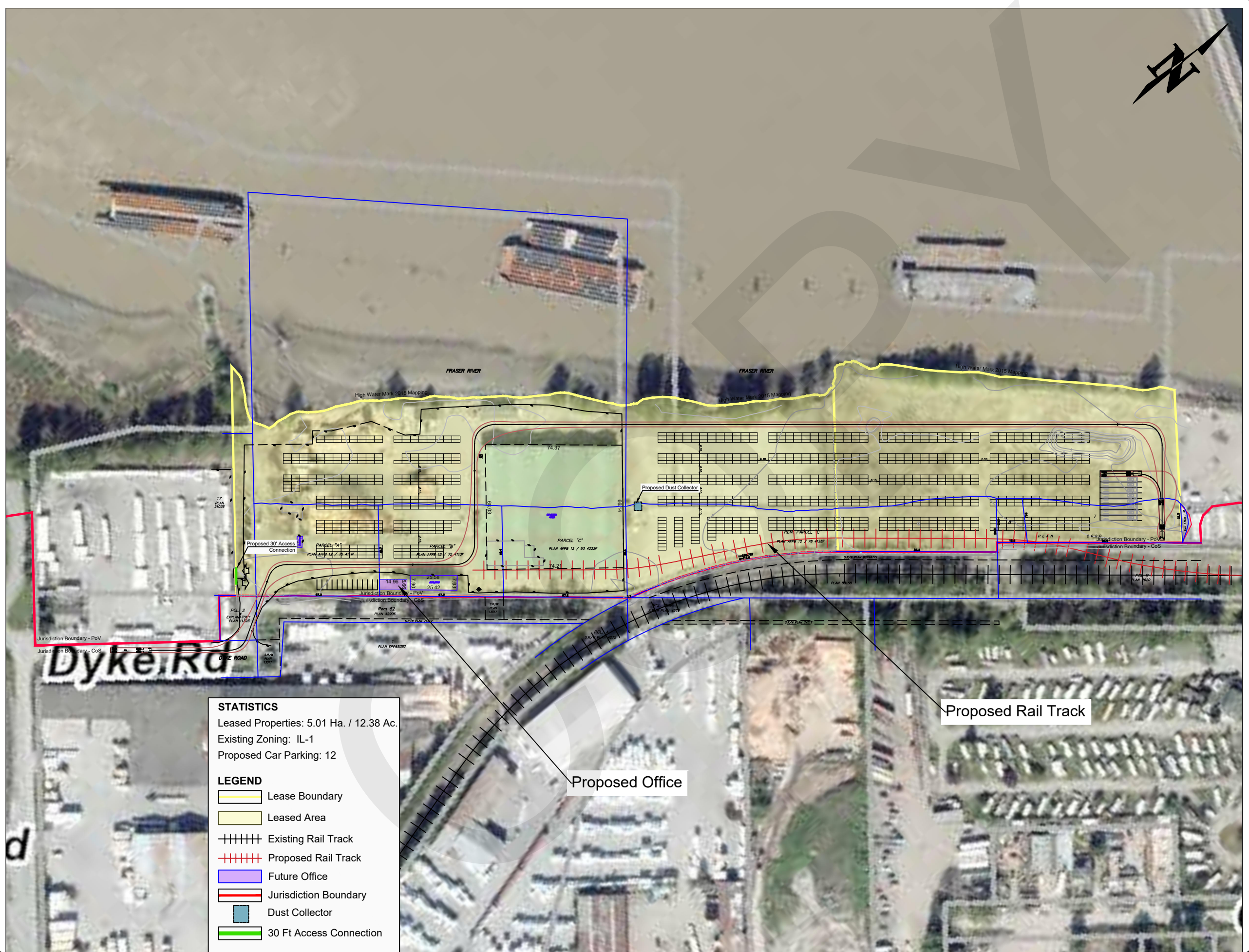
DRAWING No:

01

DESIGNED BY: CHECKED BY:

EW

RS



STATISTICS
Leased Properties: 5.01 Ha. / 12.38 Ac.
Existing Zoning: IL-1
Proposed Car Parking: 12

LEGEND

- Lease Boundary
- Leased Area
- Existing Rail Track
- Proposed Rail Track
- Future Office
- Jurisdiction Boundary
- Dust Collector
- 30 Ft Access Connection



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 Fax: 604-501-1625
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PROJECT:

**10880 Dyke Road,
 Surrey**

DRAWING TITLE:

**Site Plan Blow-up
 (West)**

VANCOUVER FRASER PORT AUTHORITY
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PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES

CLIENT:

Goodrich Group

SCALE:

NTS

DATE:

November 19, 2019

PROJECT No:

18-1756

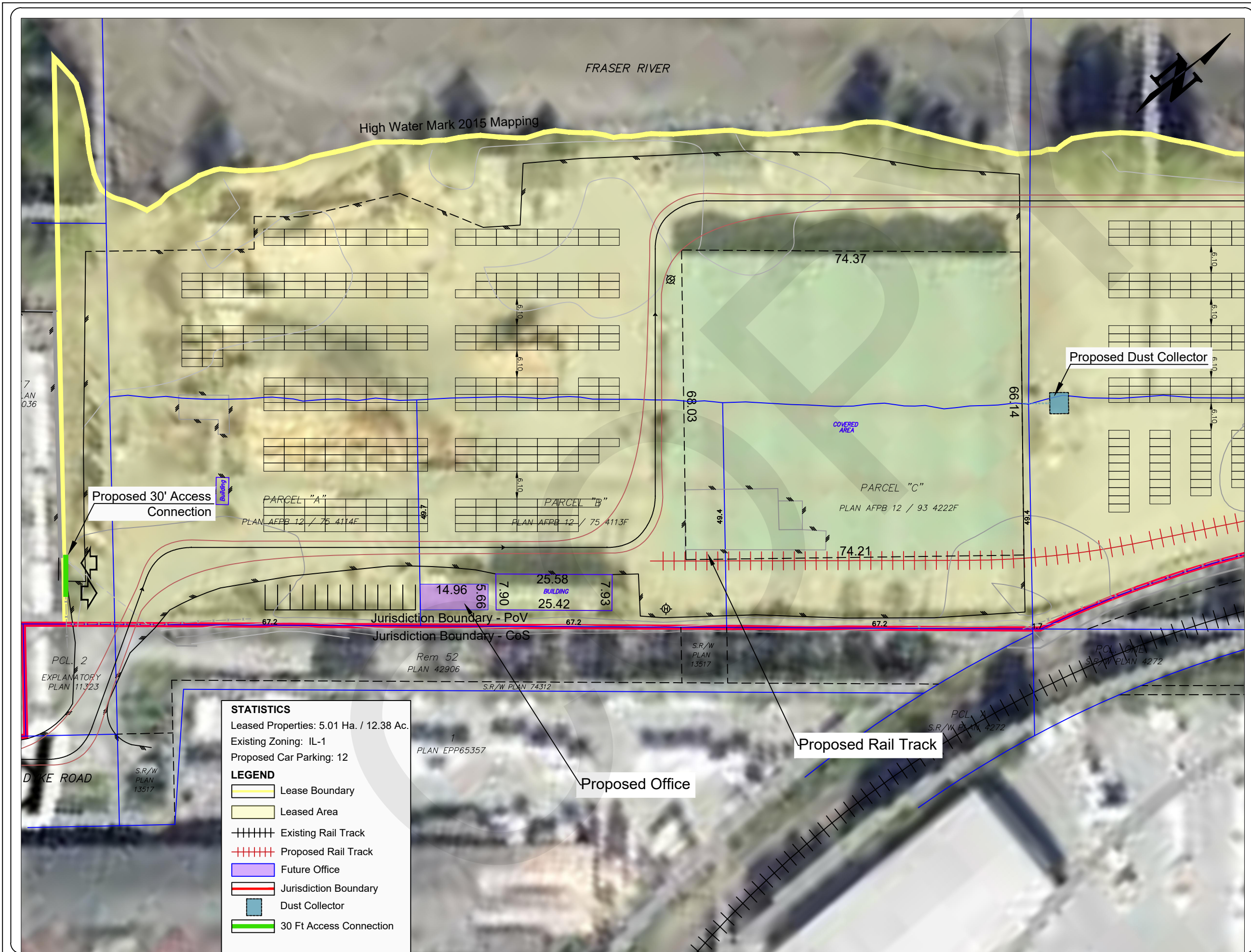
DRAWING No:

02

DESIGNED BY: CHECKED BY:

EW

RS



Pacific Land Resource Group Inc.

Suite 212 - 12992 76 Avenue
Surrey, British Columbia
Canada V3W 2V6
Tel: 604-501-1624
Fax: 604-501-1625
www.pacificlandgroup.ca
info@pacificlandgroup.ca

PROJECT:

**10880 Dyke Road,
Surrey**

DRAWING TITLE:

**Site Plan Blow-up
(East)**

VANCOUVER FRASER PORT AUTHORITY
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PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES

CLIENT:

Goodrich Group

SCALE:

NTS

DATE:

November 19, 2019

PROJECT No:

18-1756

DRAWING No:

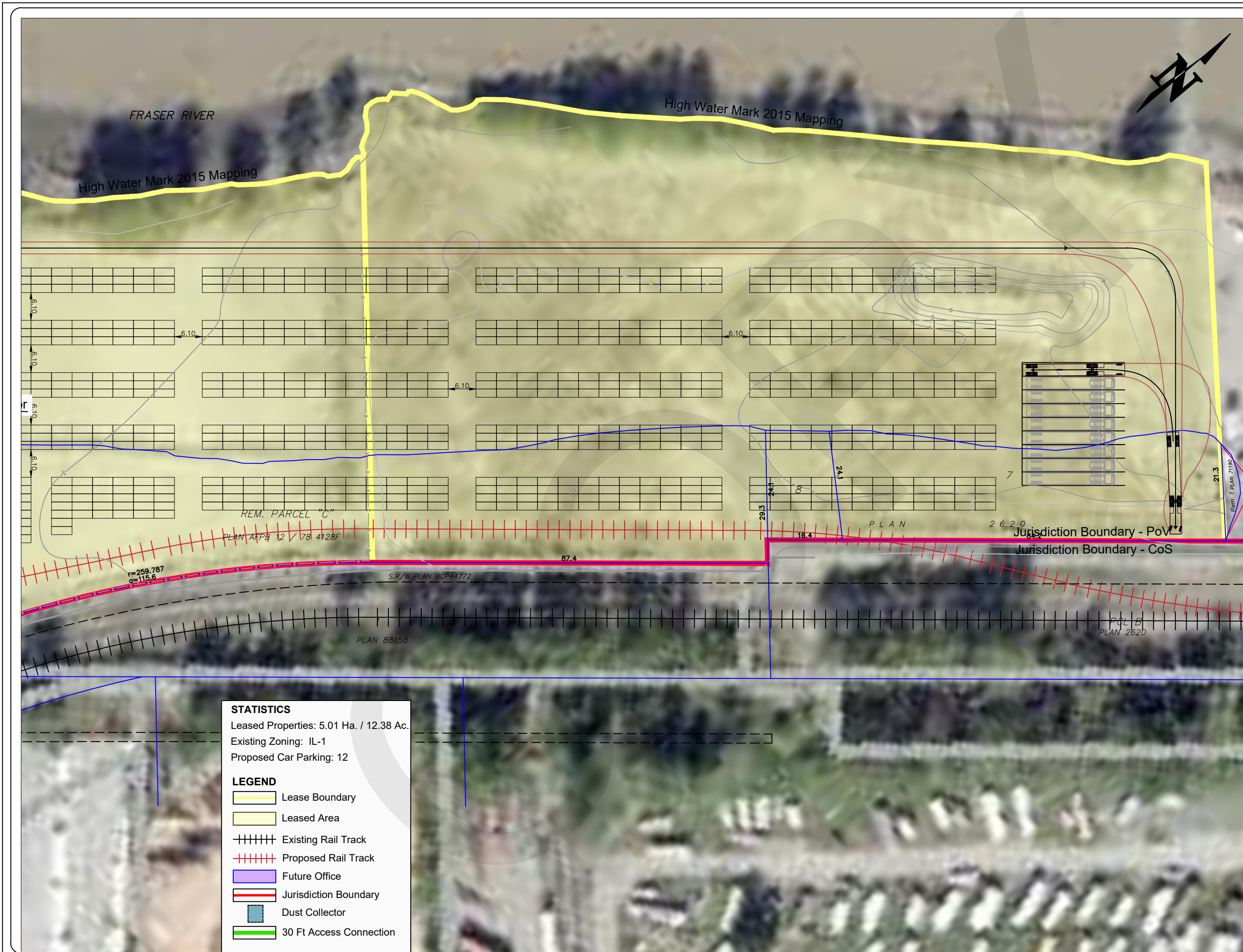
03

DESIGNED BY:

EW

CHECKED BY:

RS



STATISTICS
Leased Properties: 5.01 Ha. / 12.38 Ac.
Existing Zoning: IL-1
Proposed Car Parking: 12

LEGEND

- Lease Boundary
- Leased Area
- Existing Rail Track
- Proposed Rail Track
- Future Office
- Jurisdiction Boundary
- Dust Collector
- 30 Ft Access Connection

GENERAL NOTES:

- A TREE CUTTING PERMIT AND AN EROSION & SEDIMENT CONTROL PERMIT SHALL BE OBTAINED PRIOR TO ANY WORKS COMMENCING ONSITE.
- TEMPORARY TREE PROTECTION BARRIER FENCES SHALL BE CONSTRUCTED AND INSPECTED BY THE CITY OF SURREY'S PARKS DEPARTMENT AS PER THE LOCATIONS AND INSTRUCTIONS IN THE ARBORIST REPORT AND LANDSCAPING DRAWINGS PRIOR TO ANY WORKS COMMENCING ONSITE.
- A PLUMBING PERMIT AND ALL OTHER APPLICABLE APPROVALS AND PERMITS SHALL BE OBTAINED PRIOR TO ANY UNDERGROUND CIVIL WORKS COMMENCING ONSITE. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL PERMIT FEES FOR OBTAINING THE REQUIRED PERMITS.
- PRIOR TO CIVIL SITE SERVICES CONSTRUCTION, THE CONTRACTOR SHALL ARRANGE FOR A PRE-CONSTRUCTION MEETING ONSITE WITH CENTRAS ENGINEERING LTD. TO REVIEW AND DISCUSS THE ISSUED FOR CONSTRUCTION CIVIL DRAWINGS, CONSTRUCTION METHODS, GENERAL COORDINATION BETWEEN TRADES, SCHEDULE, TIMING, SITE REVIEWS, TESTING PROCEDURES, TESTING RESULTS, ETC.
- ALL CONSTRUCTION WORKS SHALL BE COMPLETED IN SUCH A MANNER SO AS TO PREVENT THE RELEASE OF ANY CONSTRUCTION WATER, SILT, CONCRETE LEACHATE AND ANY OTHER DELETERIOUS SUBSTANCES SHALL BE DISPOSED OF OR PLACED IN SUCH A MANNER AS TO PREVENT ITS ENTRY INTO ANY STORM SEWER SYSTEM OR WATER COURSE.
- THE DEVELOPER AND CONTRACTOR ARE RESPONSIBLE FOR SWEEPING OF THE EXISTING ROADWAYS FREE OF ANY DIRT AND SEDIMENT CAUSED BY CONSTRUCTION ACTIVITY ON A DAILY BASIS.
- THE CONTRACTOR SHALL REINSTATE ALL DISTURBED WORKS TO PRE-CONSTRUCTION CONDITIONS OR BETTER AND TO CURRENT MMCD AND CITY OF SURREY'S STANDARDS AND TO THE SATISFACTION OF CENTRAS ENGINEERING LTD.
- ALL NEW ONSITE ELECTRICAL AND TELECOMMUNICATIONS SERVICES AND CONNECTIONS SHALL BE LOCATED UNDERGROUND. REFER TO THE ELECTRICAL SITE PLAN AND BC HYDRO DRAWINGS FOR DETAILS.
- A MINIMUM OF 48 HOURS NOTICE SHALL BE PROVIDED BY THE CONTRACTOR TO CENTRAS ENGINEERING LTD. PRIOR TO CIVIL CONSTRUCTION COMMENCEMENT.
- THE CONTRACTOR SHALL COMPLY WITH ALL THE ARBORIST RECOMMENDATIONS IN THE ARBORIST REPORT AND GEOTECHNICAL REPORT.
- UPON SUBSTANTIAL CONSTRUCTION COMPLETION (WITHIN 30 DAYS), THE CONTRACTOR SHALL PROVIDE CENTRAS ENGINEERING LTD. WITH COMPLETE AS-CONSTRUCTED REDLINE INFORMATION (B.C.L.S. OR P.ENG. CERTIFIED) FOR ALL THE PROPOSED CIVIL WORKS SHOWN ON THESE PLANS.

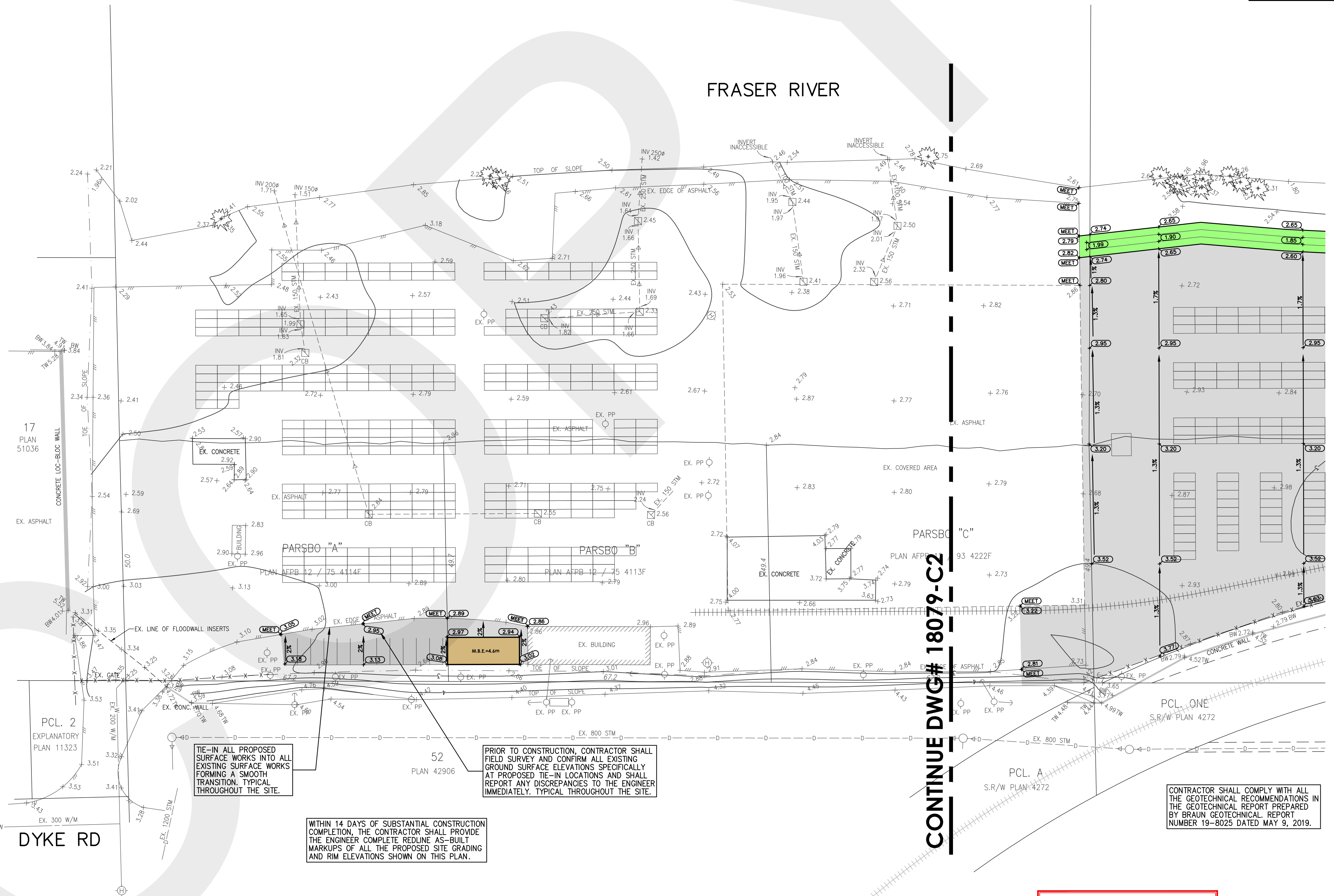
SITE GRADING NOTES:

- ALL ONSITE CIVIL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BRITISH COLUMBIA'S BUILDING CODES AND PLUMBING CODES, MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) PLATINUM EDITION, THE CITY OF SURREY'S DESIGN CRITERIA MANUAL, THE CITY OF SURREY'S STANDARD CONSTRUCTION DOCUMENTS (GENERAL CONDITIONS, SUPPLEMENTARY SPECIFICATIONS AND SUPPLEMENTARY STANDARD DRAWINGS) AND ALL OTHER APPLICABLE MUNICIPAL BYLAWS AND POLICIES, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS, OFFSETS, SIZES AND ELEVATIONS ARE METRIC AND TO GEODETIC DATUM, UNLESS NOTED OTHERWISE.
- ALL BUBBLED ELEVATIONS ARE FINISHED SURFACE PAVEMENT ELEVATIONS.
- CHANGES IN GRADE LINES SHALL BE FORMED BY SMOOTH CURVES.
- ADJUST ALL EXISTING AND PROPOSED RIMS, I.C.'S AND COVERS FLUSH WITH FINISHED SURFACE GRADES (UNLESS NOTED OTHERWISE).
- TIE-IN ALL PROPOSED SURFACE WORKS TO EXISTING SURFACE WORKS WITH A SMOOTH TRANSITION.
- FINISHED SURFACE ELEVATIONS SHALL BE INSTALLED WITHIN A VERTICAL AND HORIZONTAL TOLERANCE OF 10mm OR THEY ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- REFER TO ARCHITECTURAL PLANS FOR CONCRETE CURBING DETAILS.
- EXISTING SUB-GRADE SHALL BE PREPARED AS PER GEOTECHNICAL RECOMMENDATIONS AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF IMPORTED SUB-BASE AND BASE MATERIALS. SUB-BASE AND BASE MATERIALS SHALL BE INSTALLED AND COMPACTED AS PER THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO COMMENCING ASPHALT PAVING.
- ALL LOOSE AND/OR ORGANIC MATERIAL WITHIN THE ROADWAY SHALL BE OVER EXCAVATED AS DIRECTED BY THE GEOTECHNICAL ENGINEER AND SHALL BE REPLACED WITH APPROVED ENGINEERED FILL AS PER GEOTECHNICAL RECOMMENDATIONS AND APPROVAL.
- REFER TO THE GEOTECHNICAL REPORT AND MMCD SECTION 32.12.16 FOR HOT-MIX ASPHALT PAVEMENT RECOMMENDATIONS SUCH AS MIX DESIGN AND MINIMUM FINISHED PAVEMENT THICKNESS.
- SURFACE WATER PONDING IS NOT PERMITTED AND IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- IF REQUIRED, ASPHALT PAVEMENT CUTS AND PATCHES SHALL CONFORM TO MMCD STANDARD DRAWING NUMBER G5 AND TO CURRENT CITY OF SURREY'S STANDARDS.
- REFER TO LANDSCAPE DRAWINGS FOR DECORATIVE SURFACE TREATMENT DETAILS AND SPECIFICATIONS. DECORATIVE SURFACE TREATMENTS SHALL MEET H2O TRAFFIC LOADING SPECIFICATIONS.
- REFER TO ARCHITECTURAL AND/OR LANDSCAPE DRAWINGS FOR DETAILED GRADING AROUND BUILDINGS AND LANDSCAPE AREAS.
- PRIOR TO INSTALLATION OF CONCRETE CURBING AND HOT-MIX ASPHALT PAVING, THE CONTRACTOR SHALL OBTAIN WRITTEN SIGN OFF APPROVAL FROM THE ELECTRICAL CONSULTANT AND BC HYDRO THAT ALL THE UNDERGROUND ELECTRICAL AND TELECOMMUNICATIONS SERVICES HAVE BEEN INSTALLED AND ARE ACCESSIBLE TO THE ELECTRICAL CONSULTANT AND BC HYDRO.
- THE DEVELOPER SHALL EMPLOY THE SERVICES OF A GEOTECHNICAL ENGINEER FOR FIELD REVIEWS AND CERTIFICATIONS RELATED TO STRIPPING DEPTHS, SUB-GRADE EXCAVATION, SUB-GRADE PREPARATION, ENGINEERED FILL, BACKFILL MATERIALS WITHIN TRENCHES, SHORING, ROAD STRUCTURE MATERIALS, COMPACTION, ASPHALT MIX DESIGN, ASPHALT CORE TESTING, ASPHALT COMPACTION TESTING, ETC.

VANCOUVER FRASER PORT AUTHORITY
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LEGEND

- EXISTING GROUND SURFACE ELEVATION.
- EXISTING GROUND SURFACE CONTOUR ELEVATION.
- PROPOSED EXTENT OF TEMPORARY SITE OFFICE TRAILER BUILDING (BY OTHERS).
- ASPHALT PAVEMENT SURFACE AS PER THE GEOTECHNICAL CONSULTANT'S REQUIREMENTS.
- PROPOSED EXTENT OF STORM WATER MANAGEMENT BIOSWALE.
- EXISTING GROUND SURFACE ELEVATION.
- PROPOSED FINISHED SURFACE ELEVATION.
- MEET EXISTING GROUND SURFACE ELEVATION.
- OVERLAND FINISHED SURFACE FLOW DIRECTION.
- PROPOSED CATCH BASIN MANHOLE.
- STORM SEWER.
- STORM WATER OIL & GRIT INTERCEPTOR MANHOLE.



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NOT FOR CONSTRUCTION

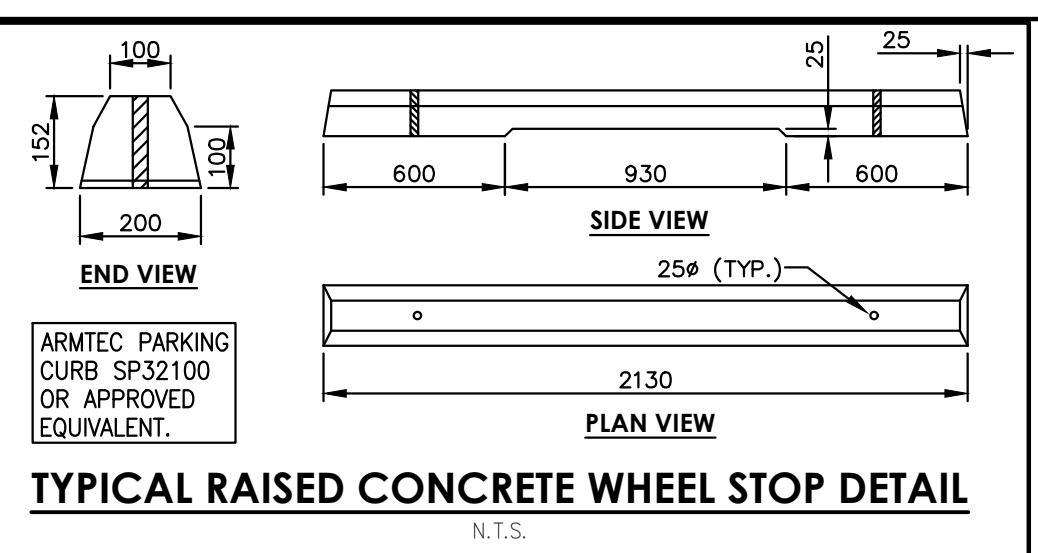
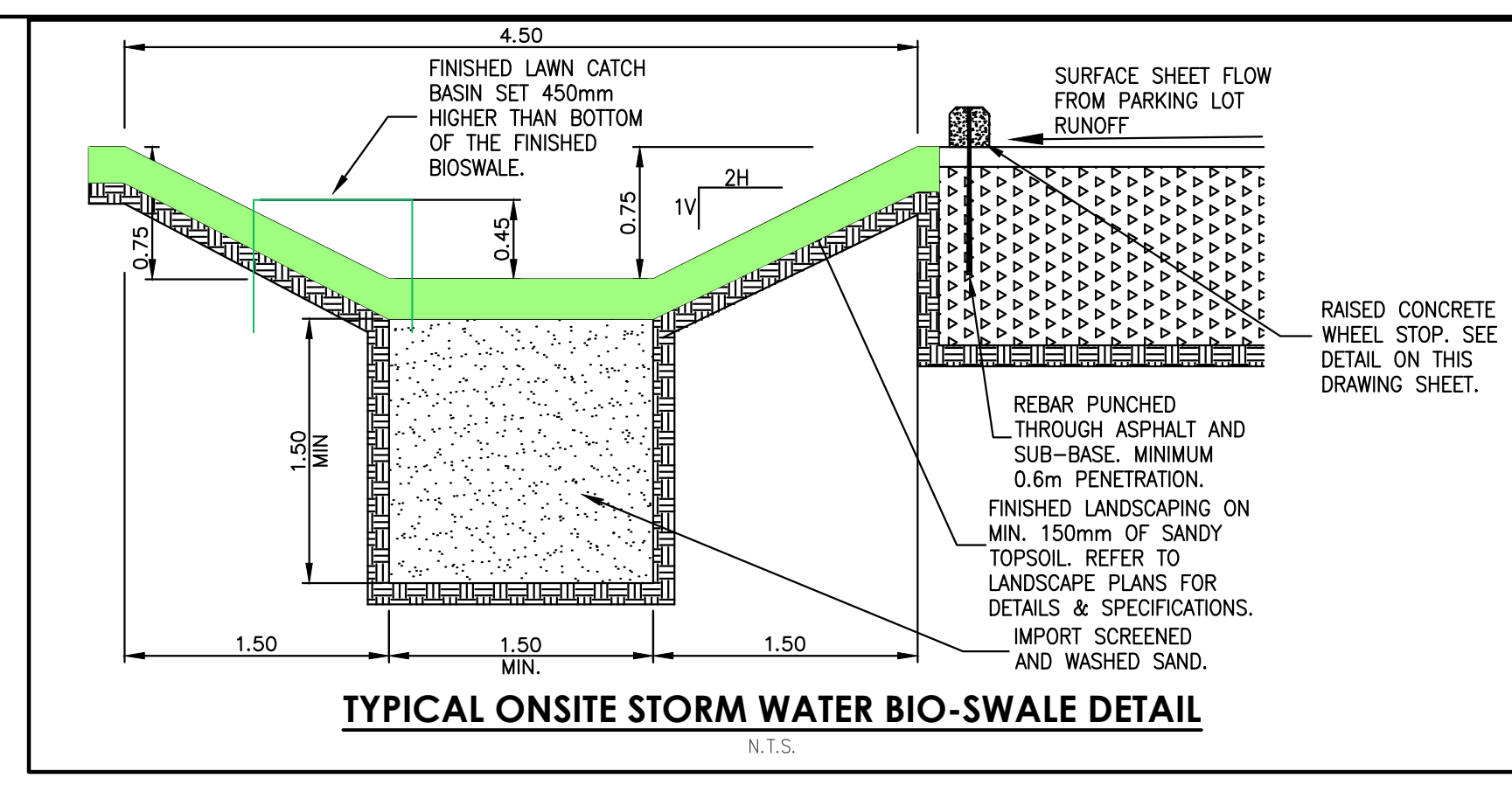
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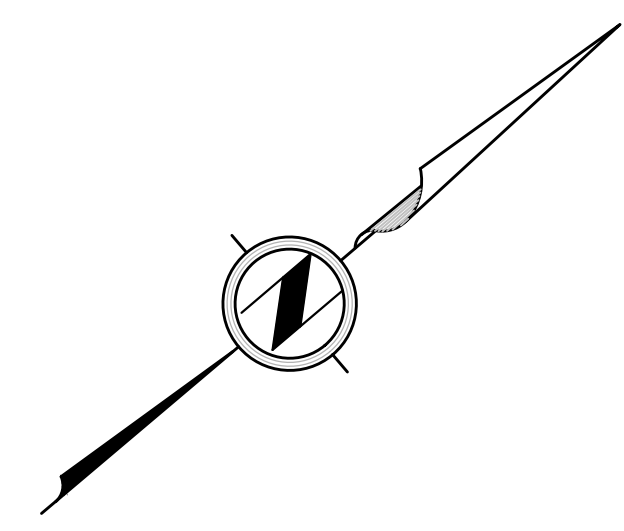
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| LEGAL BENCHMARK | No. | REVISIONS / SUBMISSIONS | DATE | CLIENT | ENGINEER-OF-RECORD | PROJECT NAME | ENGINEER'S SEAL | CITY OF SURREY | | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|-------------------------|--------------|----------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|-----------------------|----------------|-----|----------------|----------|------|---|
| | | | | | | | | DESIGN: | SBO | DRAWING NUMBER | 18079-C1 | | |
| ALL ELEVATIONS ARE GEODETIC AND REFER TO SURVEY MONUMENT NUMBER: 1277J LOCATED AT: ON S. END OF PATTULLO BRIDGE AT LAMP STANDARD AND HAVING ELEVATION OF: 12.856m PARSBO A (PLAN IN ABSOLUTE FEET PARSBO BOOK 12 FOLIO 75 NO. 4114F) PARSBO B (PLAN IN ABSOLUTE FEET PARSBO BOOK 12 FOLIO 75 NO. 4115F) PARSBO C (PLAN IN ABSOLUTE FEET PARSBO BOOK 12 FOLIO 75 NO. 4222F) ALL IN DISTRICT LCI 5 GROUP 2 EXCEPT: PARSBO BOOK 12 FOLIO 75 NO. 4128F DISTRICT LCI 5 GROUP 2 EXCEPT: PARSBO ONE (STATUTORY RIGHT OF WAY PLAN W/186158) NWD | △ | | | GOODRICH TERMINAL 9985 GRACE ROAD SURREY, BC V3V 3V7 TEL: 604-588-0132 | CENTRAS Engineering Ltd CROYDON BUSINESS CENTRE #216-2630 CROYDON DRIVE SURREY, BC V3S 6T3 PH: 604-782-6927 EMAIL: info@centras.ca | OUTDOOR LUMBER STORAGE YARD PROJECT SITE ADDRESS 10880 DYKE RD AND 21780 SOUTH WESTMINSTER SHORE, SURREY, BC | February 17, 2020 | DESIGN: | SBO | | | | |
| | △ | ADDRESS REVIEW COMMENTS | JAN 14, 2020 | | | | | DRAWN: | SBO | HOR. SCALE | 1:500 | REV. | 1 |
| | △ | ISSUED FOR REVIEW | MAY 5, 2019 | | | | | CHECKED: | SBO | VER. SCALE | | | |

DESTROY ALL PRINTS BEARING PREVIOUS REVISION NUMBER

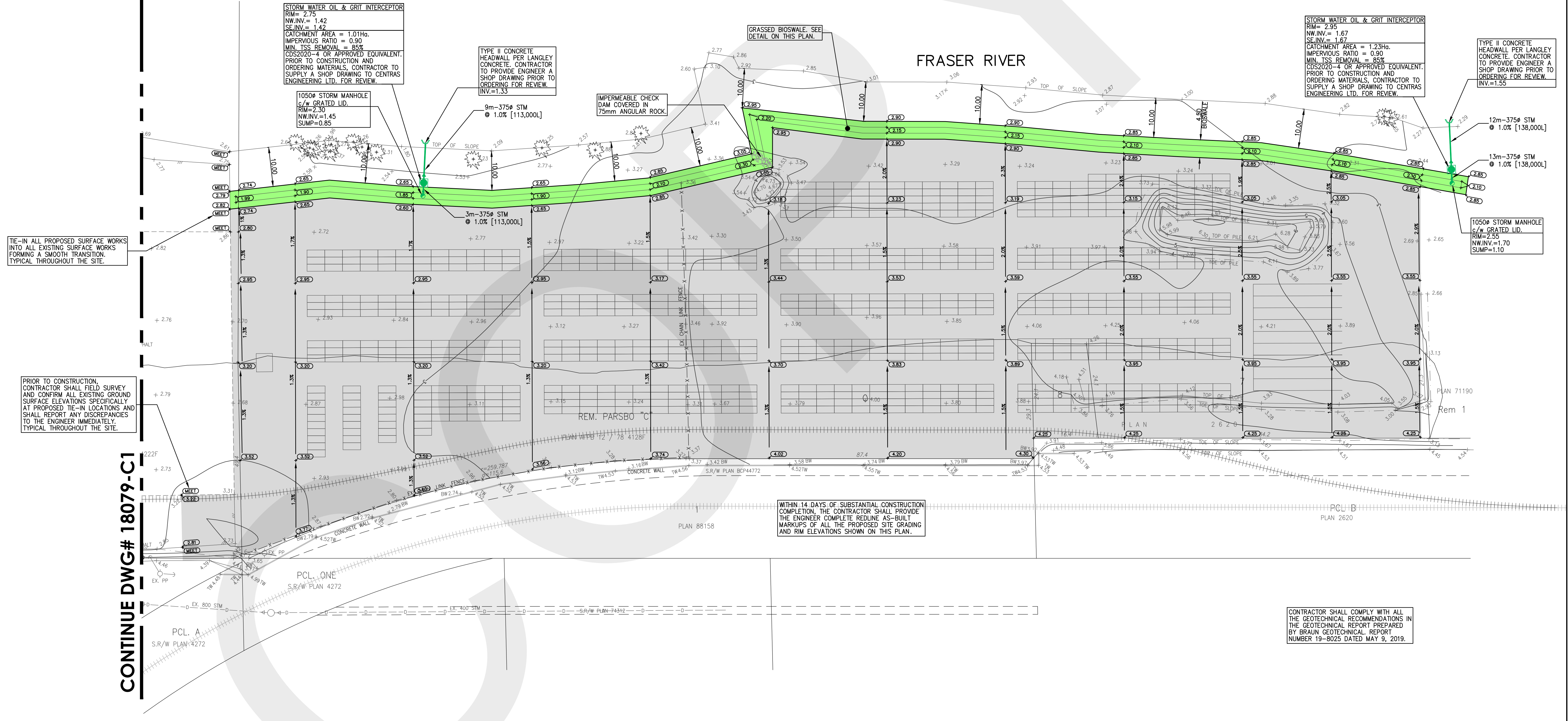


VANCOUVER FRASER PORT AUTHORITY
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LEGEND

- 2.76 EXISTING GROUND SURFACE ELEVATION.
- 3.5 EXISTING GROUND SURFACE CONTOUR ELEVATION.
- PROPOSED EXTENT OF TEMPORARY SITE OFFICE TRAILER BUILDING (BY OTHERS).
- ASPHALT PAVEMENT SURFACE AS PER THE GEOTECHNICAL CONSULTANT'S REQUIREMENTS.
- PROPOSED EXTENT OF STORM WATER MANAGEMENT BIOSWALE.
- 2.92 EXISTING GROUND SURFACE ELEVATION.
- 3.85 PROPOSED FINISHED SURFACE ELEVATION.
- MEET MEET EXISTING GROUND SURFACE ELEVATION.
- OVERLAND FINISHED SURFACE FLOW DIRECTION.
- PROPOSED CATCH BASIN MANHOLE.
- STORM SEWER
- STORM WATER OIL & GRIT INTERCEPTOR MANHOLE



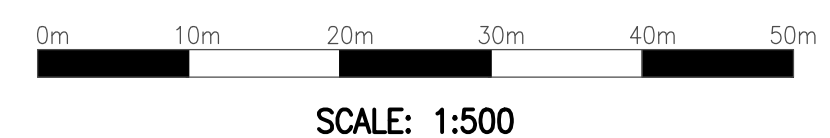
TIE-IN ALL PROPOSED SURFACE WORKS INTO ALL EXISTING SURFACE WORKS FORMING A SMOOTH TRANSITION. TYPICAL THROUGHOUT THE SITE.

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD SURVEY AND CONFIRM ALL EXISTING GROUND SURFACE ELEVATIONS SPECIFICALLY AT PROPOSED TIE-IN LOCATIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY. TYPICAL THROUGHOUT THE SITE.

WITHIN 14 DAYS OF SUBSTANTIAL CONSTRUCTION COMPLETION, THE CONTRACTOR SHALL PROVIDE THE ENGINEER COMPLETE REDLINE AS-BUILT MARKUPS OF ALL THE PROPOSED SITE GRADING AND RIM ELEVATIONS SHOWN ON THIS PLAN.

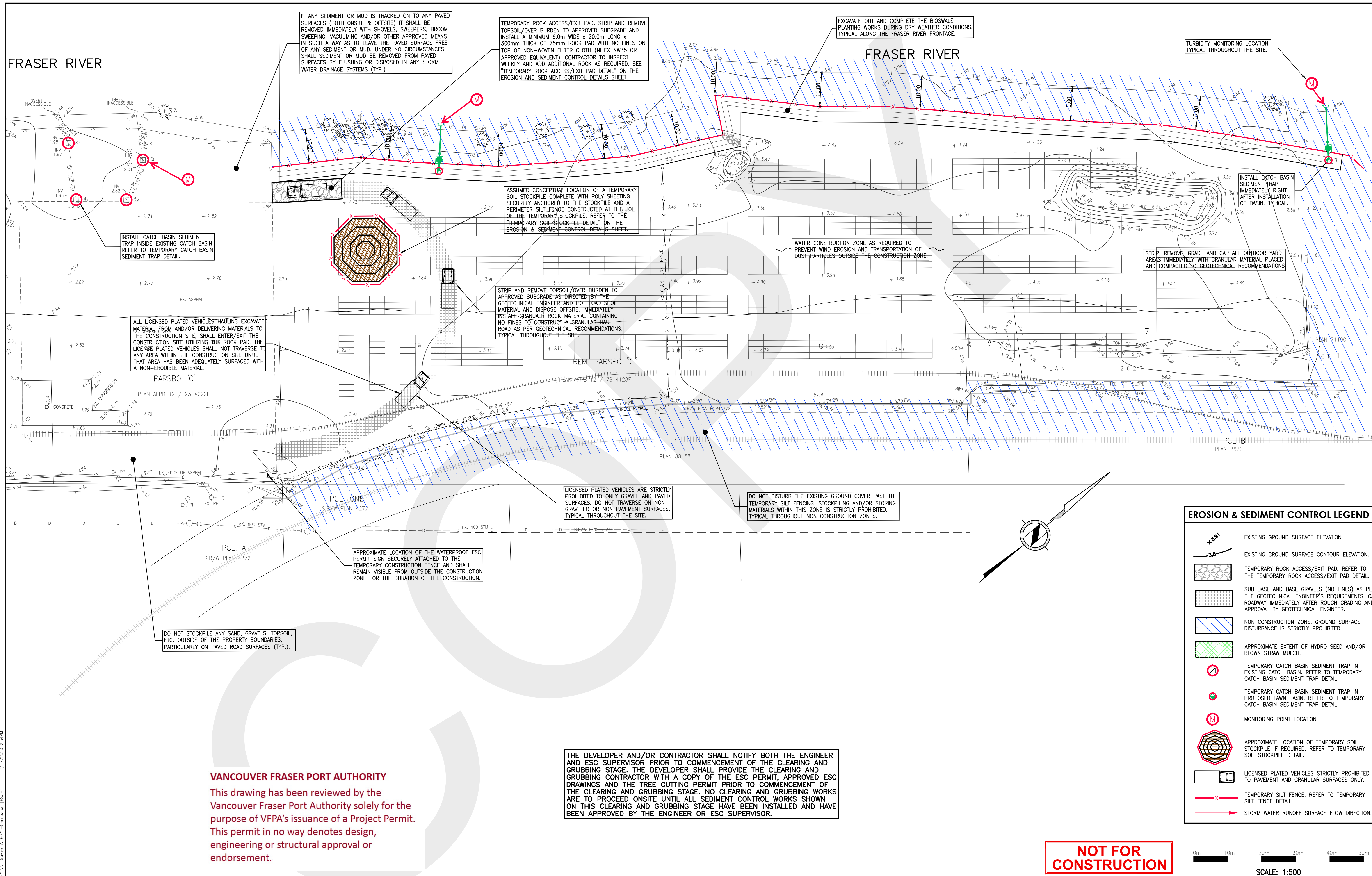
CONTRACTOR SHALL COMPLY WITH ALL THE GEOTECHNICAL RECOMMENDATIONS IN THE GEOTECHNICAL REPORT PREPARED BY BRAUN GEOTECHNICAL REPORT NUMBER 19-8025 DATED MAY 9, 2019.

NOT FOR CONSTRUCTION



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| LEGAL BENCHMARK | No. | REVISIONS / SUBMISSIONS | DATE | CLIENT | ENGINEER-OF-RECORD | PROJECT NAME | ENGINEER'S SEAL | CITY OF SURREY | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|-------------------------|-----------------------------|----------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|--------------------------|---------------------|-----------------------------------------------------|
| | | | | | | | | DESIGN: | SBO |
| ALL ELEVATIONS ARE GEODETIC AND REFER TO SURVEY MONUMENT NUMBER: 1277J LOCATED AT: ON S. END OF PATTULLO BRIDGE AT LAMP STANDARD AND HAVING ELEVATION OF: 12.856m | | | | GOODRICH TERMINAL 9985 GRACE ROAD SURREY, BC V3V 3V7 TEL: 604-588-0132 | CENTRAS Engineering Ltd CROYDON BUSINESS CENTRE #216-2630 CROYDON DRIVE SURREY, BC V3S 6T3 PH: 604-782-6927 EMAIL: info@centras.ca | OUTDOOR LUMBER STORAGE YARD PROJECT SITE ADDRESS 10880 DYKE RD AND 21780 SOUTH WESTMINSTER SHORE, SURREY, BC | February 17, 2020 | SCALE: 1:500 | REV. 1 |
| PARSO A (PLAN IN ABSOLUTE FEET PARSO BOOK 12 FOLIO 78 NO. 4114F) PARSO B (PLAN IN ABSOLUTE FEET PARSO BOOK 12 FOLIO 78 NO. 4115F) PARSO C (PLAN IN ABSOLUTE FEET PARSO BOOK 12 FOLIO 78 NO. 4222F) ALL IN DISTRICT LOT 6, GRP 2, PARSO C (PLAN IN ABSOLUTE FEET PARSO BOOK 12 FOLIO 78 NO. 4128F) DISTRICT LOT 5 GROUP 2 EXCEPT PARSO ONE (STATUTORY RIGHT OF WAY PLAN W/86158) NW/4 | | | JAN 14, 2020 MAY 5, 2019 | | | | | | DESTROY ALL PRINTS BEARING PREVIOUS REVISION NUMBER |



VANCOUVER FRASER PORT AUTHORITY
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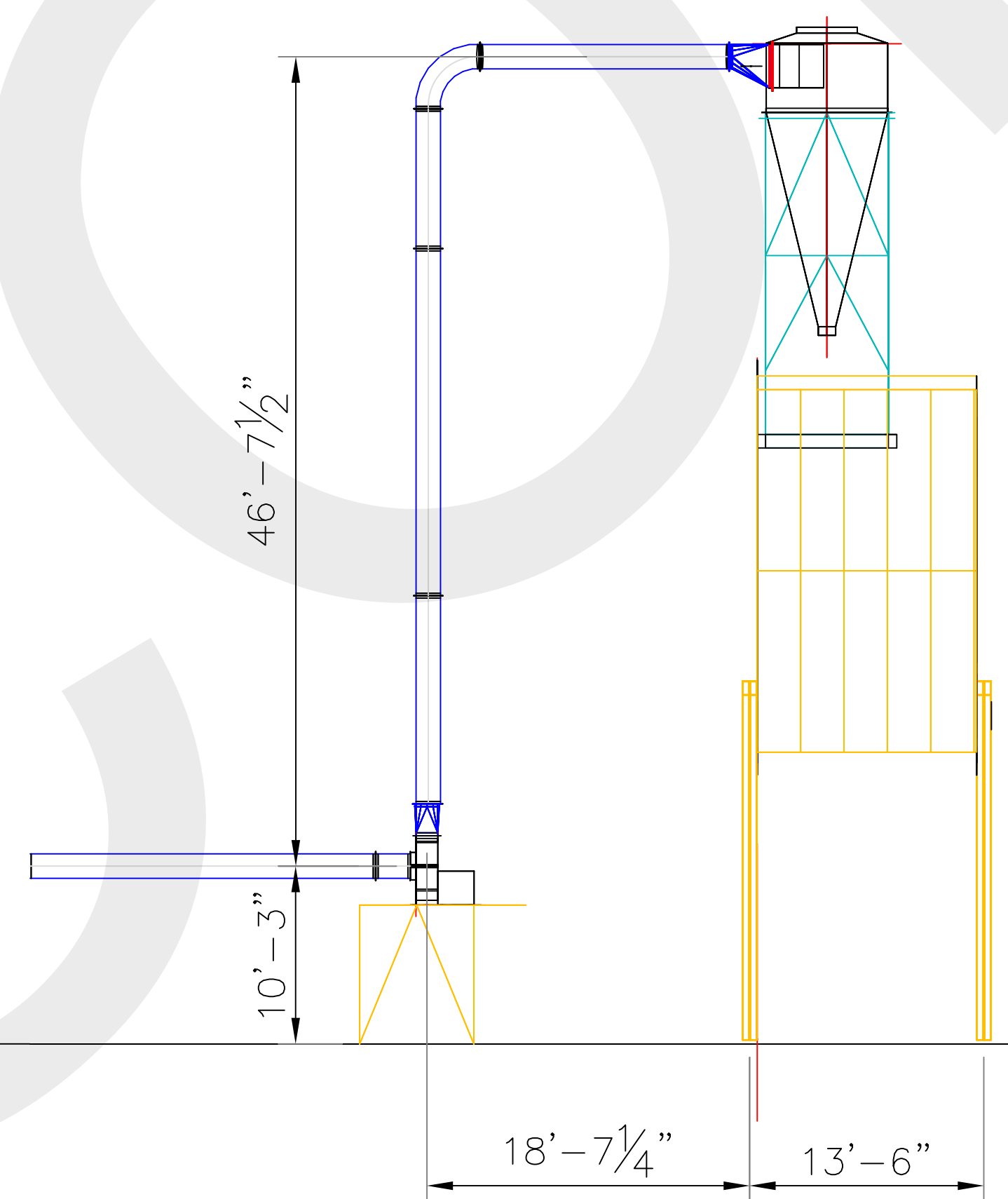
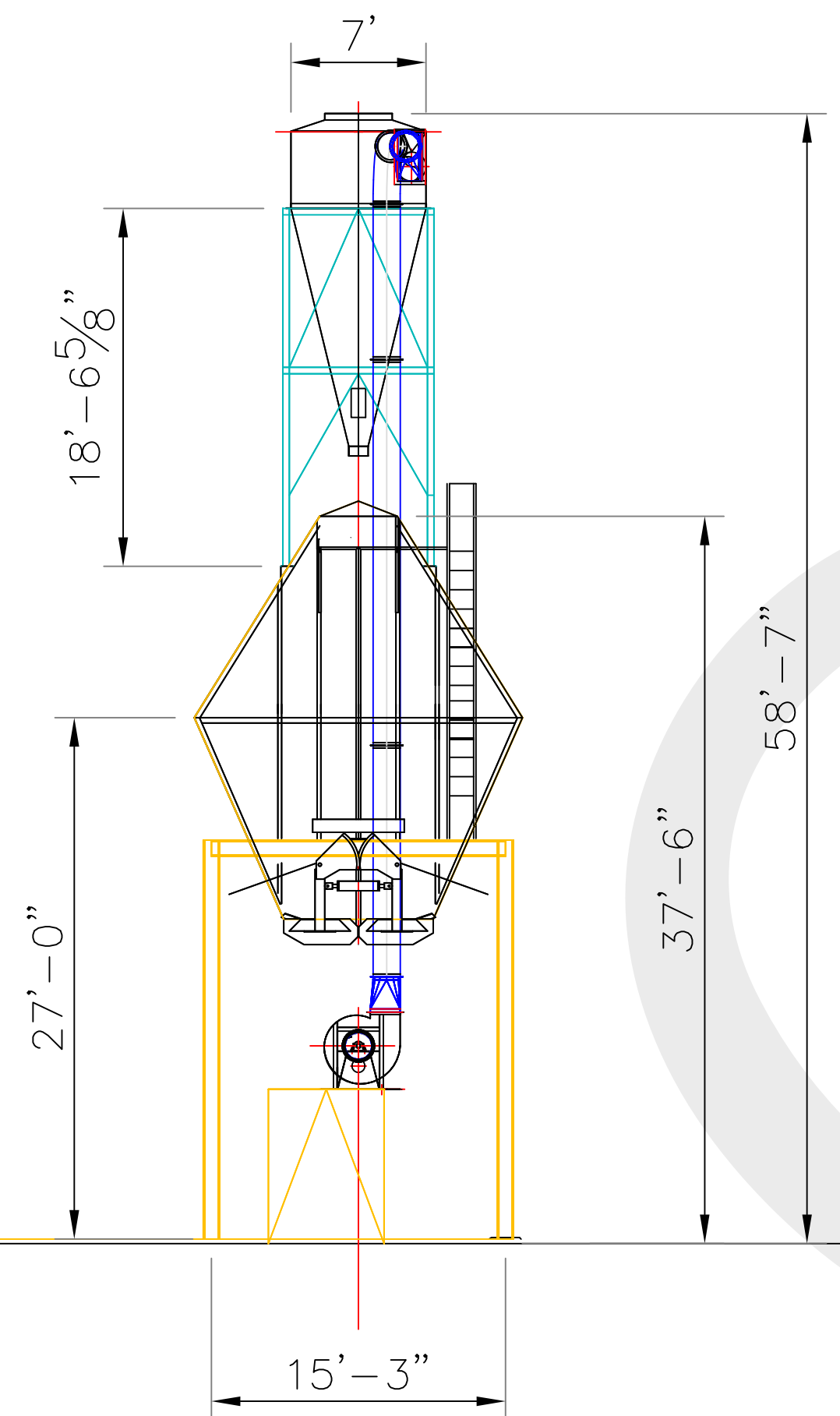
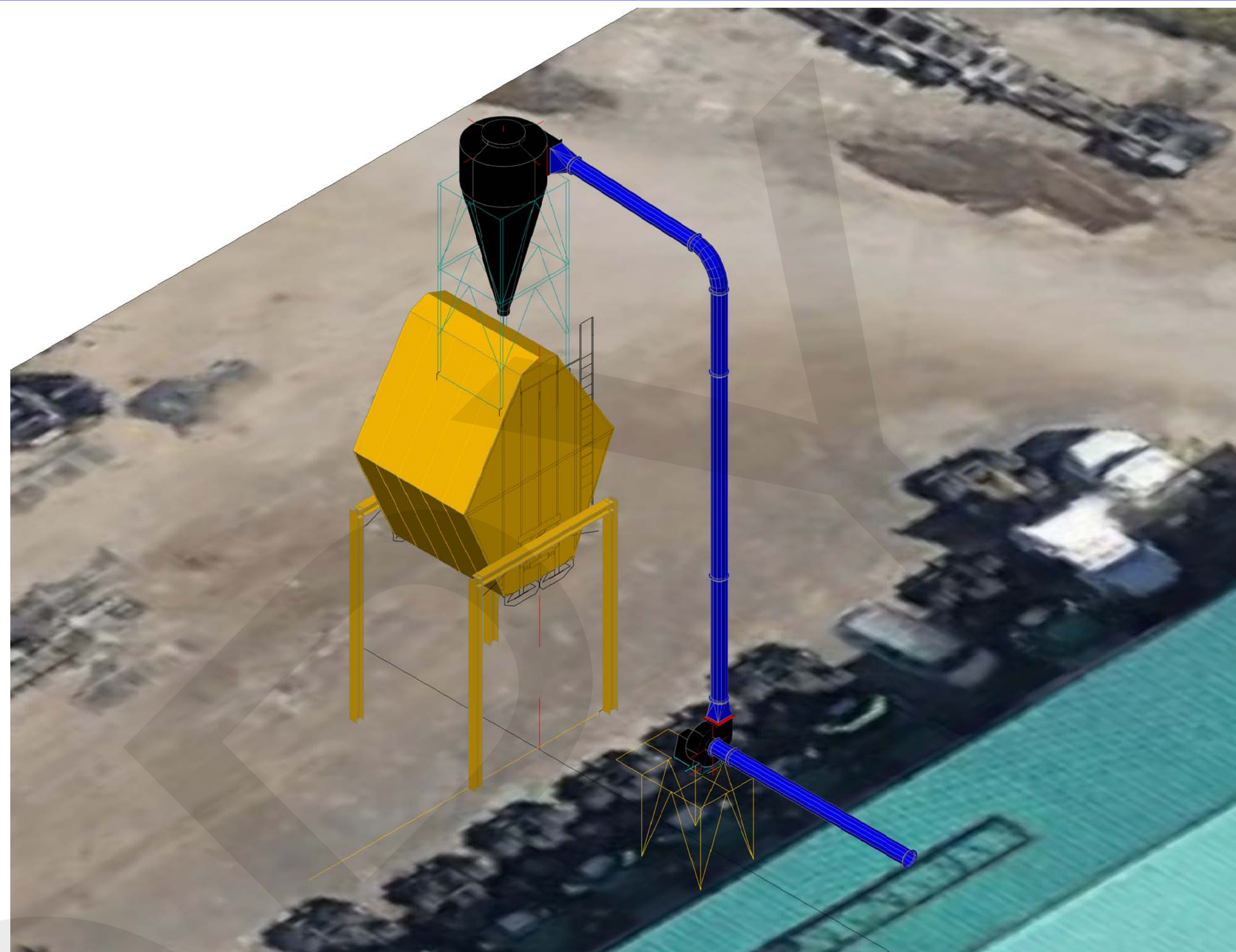
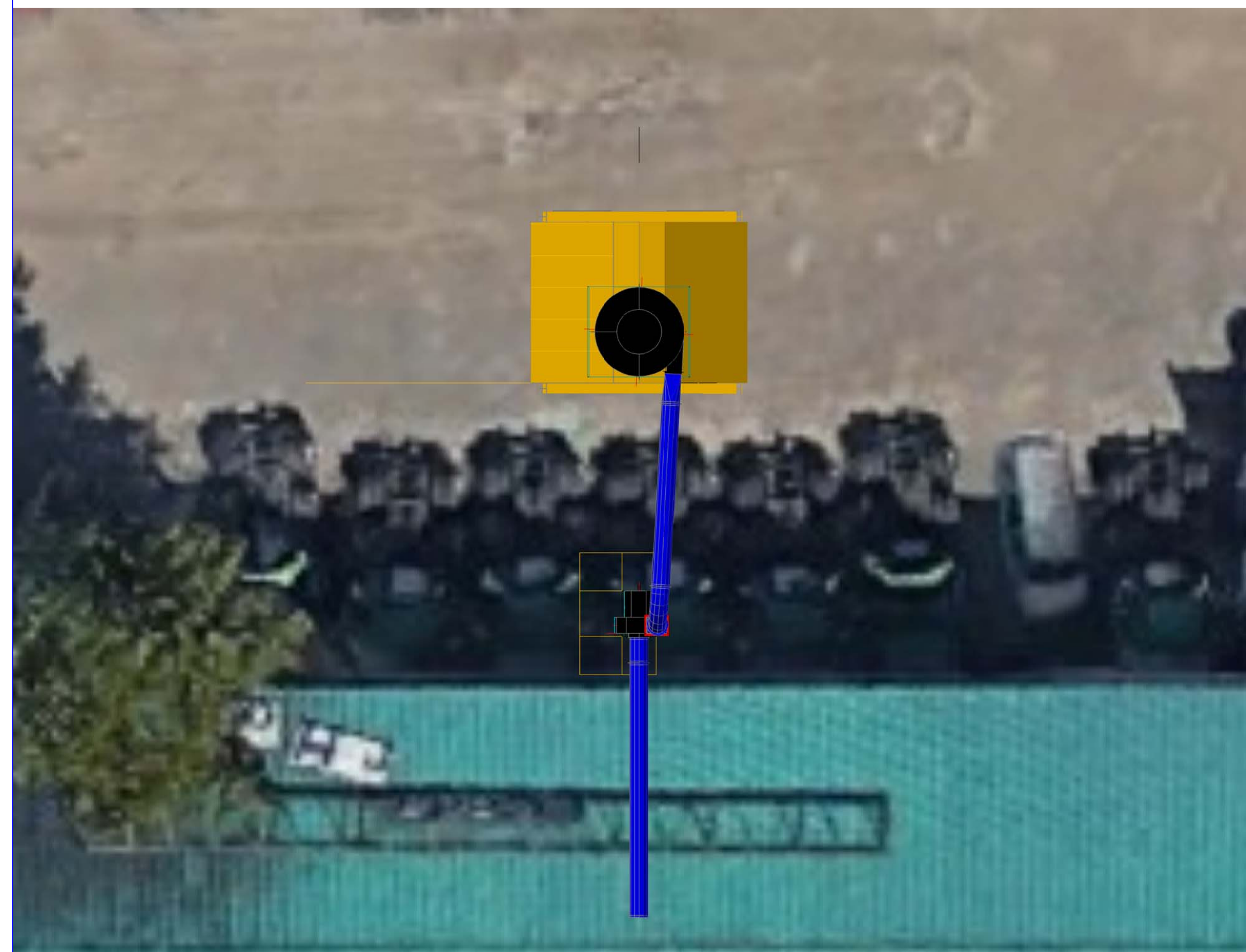
THE DEVELOPER AND/OR CONTRACTOR SHALL NOTIFY BOTH THE ENGINEER AND ESC SUPERVISOR PRIOR TO COMMENCEMENT OF THE CLEARING AND GRUBBING STAGE. THE DEVELOPER SHALL PROVIDE THE CLEARING AND GRUBBING CONTRACTOR WITH A COPY OF THE ESC PERMIT, APPROVED ESC DRAWINGS AND THE TREE CUTTING PERMIT PRIOR TO COMMENCEMENT OF THE CLEARING AND GRUBBING STAGE. NO CLEARING AND GRUBBING WORKS ARE TO PROCEED ONSITE UNTIL ALL SEDIMENT CONTROL WORKS SHOWN ON THIS CLEARING AND GRUBBING STAGE HAVE BEEN INSTALLED AND HAVE BEEN APPROVED BY THE ENGINEER OR ESC SUPERVISOR.

NOT FOR CONSTRUCTION

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 LEGAL BENCHMARK
 PARSBO A (PLAN IN ABSOLUTE FEET PARSBO BOOK 12 FOLIO 75 NO. 4114F)
 PARSBO B (PLAN IN ABSOLUTE FEET PARSBO BOOK 12 FOLIO 75 NO. 4115F)
 PARSBO C (PLAN IN ABSOLUTE FEET PARSBO BOOK 12 FOLIO 75 NO. 4222F)
 ALL IN DISTRICT LOT 6 GRP 2 PARSBO C (PLAN IN ABSOLUTE FEET PARSBO BOOK 12 FOLIO 75 NO. 4128F) DISTRICT LOT 5 GROUP 2 EXCEPT PARSBO ONE (STATUTORY RIGHT OF WAY PLAN W/186158) NWD

| No. | REVISIONS / SUBMISSIONS | | DATE | CLIENT | ENGINEER-OF-RECORD | PROJECT NAME | ENGINEER'S SEAL | CITY OF SURREY | |
|-----|-------------------------|-------------------|------|-------------|----------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--------------------------------------------|
| | 1 | ISSUED FOR REVIEW | | MAY 5, 2019 | GOODRICH TERMINAL 9985 GRACE ROAD SURREY, BC V3V 3V7 TEL: 604-588-0132 | CENTRAS Engineering Ltd CROYDON BUSINESS CENTRE #216-2630 CROYDON DRIVE SURREY, BC V3S 6T3 PH: 604-782-6927 EMAIL: info@centras.ca | OUTDOOR LUMBER STORAGE YARD PROJECT SITE ADDRESS 10880 DYKE RD AND 21780 SOUTH WESTMINSTER SHORE, SURREY, BC | February 17, 2020 | EROSION & SEDIMENT CONTROL PLAN |
| | | | | | | | | DESIGN: SBO | DRAWING NUMBER: 18079-ESC1 |
| | | | | | | | | CHECKED: SBO | HOR. SCALE: 1:500 |
| | | | | | | | | ENGINEER: SBO | VER. SCALE: 1:500 |
| | | | | | | | | | REV. 1 |

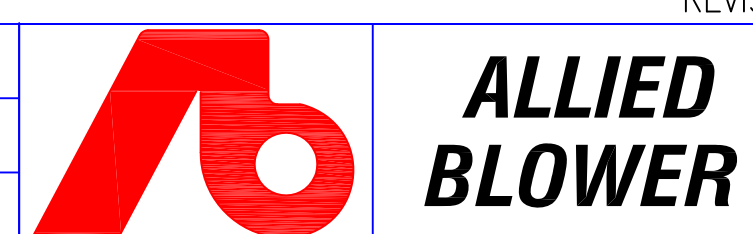
DESTROY ALL PRINTS BEARING PREVIOUS REVISION NUMBER



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ISSUED FOR INFORMATION
 NOV 14/19

| | | | |
|-----------|------------------------|-------------------------------|---------------------------|
| A | ISSUED FOR INFORMATION | BDJ | NOV14/19 |
| REV. | DESCRIPTION | BY | DATE |
| REVISIONS | | | |
| DWN. | BDJ | GENERAL ARRANGEMENT | |
| DATE. | NOV13/19 | DUST COLLECTION CYCLONE & FAN | |
| CHK. | - | MOLDER SYSTEM | |
| DATE. | - | K WEST LUMBER | |
| P.M. | EM | SURREY BC | |
| DATE. | - | SCALE. | DWG. 2220-15033-00 REV. A |



ALLIED BLOWER
 SURREY, BC PH: (604) 930-7000 FAX: (604) 581-4159
 WILLIAMS LAKE, BC PH: (780) 962-6464 FAX: (780) 962-6465
 VERNON, BC PH: (250) 503-2533 FAX: (250) 503-2534
 SPRUCE GROVE, AB PH: (250) 398-7154 FAX: (250) 398-8392
 PRINCE ALBERT, SK PH: (306) 922-1755 FAX: (306) 922-1759
 MOBILE, AL PH: (251) 243-0319 FAX: (251) 581-4159

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ISSUE AS 'B' SIZE PLOT ONLY

CAD FILE: L:\AAA - SURREY - QUOTE FILE DIRECTORY\K West Lumber\FY 2019-2020\Q2220-15033-00 site relocation\07-Allied DWG's, TSI\2220-15033-00 GAWER\014-2019\FY2019-11-14 09:13 plot_09:14 2019-11-14